

Cambridge Road, London, SE20 7XJ



Offers In The Region Of £425,000



House - Terraced

- Contemporary Family House
- Side Road Position
- Double Glazing
- Fitted Kitchen
- Downstairs Cloakroom/WC
- Three Bedrooms
- Placed On The Edge Of The Betts Park Area
- Gas Central Heating With Radiators
- First Floor Family Bathroom
- Off Road Parking

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We are delighted to present this contemporary three-bedroom family home, ideally located on a quiet side road on the edge of the historic Betts Park area. This well-presented property offers a perfect blend of modern living and traditional charm. The ground floor features a well-appointed fitted kitchen with an array of wall and base units, a bright and spacious living room ideal for relaxing or entertaining, and a convenient downstairs WC/cloakroom – perfectly suited for family life. Upstairs, the home offers three generous bedrooms and a large family bathroom. Additional benefits include double glazing throughout, efficient gas central heating with radiators, and the rare advantage of a private off-street parking space. Situated within easy reach of Birkbeck BR station, the property is ideally placed for commuters, offering frequent services into London. Local shops and bus routes are also just a short walk away, enhancing everyday convenience. Properties in this sought-after location are always in high demand. Early viewing is highly recommended to avoid disappointment.

Tenure: Freehold Bromley council tax band: C - £1,815.52 EPC rating: C

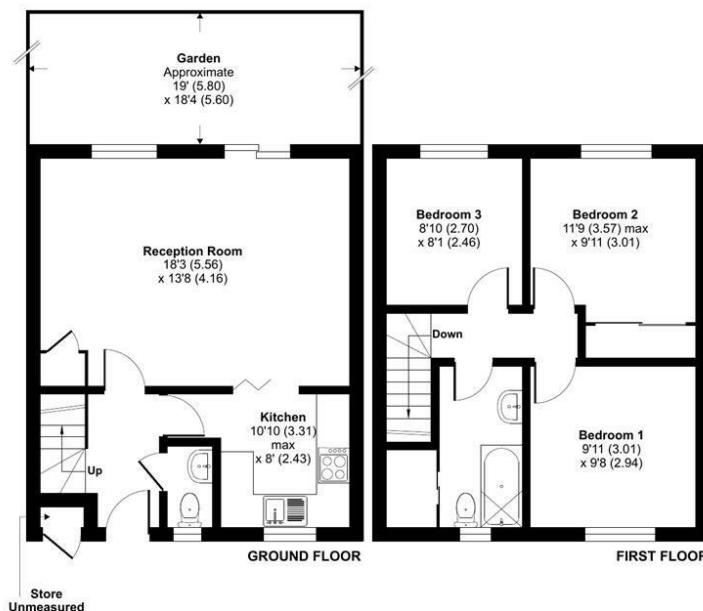
We carry out best endeavours to make our marketing material accurate and reliable, however they do not form part of any contract and are not to be relied upon. Any buyers are advised to seek verification from their solicitor or surveyor.

For broadband and mobile phone coverage at the property in question please visit: <https://checker.ofcom.org.uk/>

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Approximate Area = 811 sq ft / 75.3 sq m

For identification only - Not to scale



Floor plan produced in accordance with RICS Property Measurement 2nd Edition, Incorporating International Property Measurement Standards (IPMS2 Residential). © nichecom 2025. Produced for Home Castle. REF:1303539

Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		89
(81-91) B	77	
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales	EU Directive 2002/91/EC	



Whilst you are at liberty to use any firm of solicitors of your choice, Homecastle can, if requested, recommend solicitors.

If you choose Cook Taylor Woodhouse solicitors from our list, Homecastle will receive a £150 referral voucher.

If you require clarification on any point please contact us particularly if travelling some distance to view. All services, appliances, fittings and central heating etc (if applicable) have not been tested by our company. Measurements are taken by laser tape to the widest point of the room, are approximate and may be subject to a margin of error. Lease, ground rent, maintenance and garden details (if applicable) cannot at present be relied upon as being correct. We are awaiting clarification from the vendor's solicitors. The description of this property is only the opinion of our Company.